

# Design Guidelines



Version Number 3, 16 September 2022

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# Welcome

## Welcome to Newbridge. The new green heart of Murray Bridge.

Newbridge is a beautiful new community being created in the heart of Murray Bridge. Located next to the town's golf course, Newbridge plans to become a residential and recreational focal point for Murray Bridge, offering up to 400 allotments within a water-wise landscaped environment designed to flourish in Murray Bridge's Mediterranean climate.

Newbridge's masterplan incorporates two new fairways extending from the Murray Bridge Golf Club, helping to create a magnificent green centrepiece for this stunning residential precinct.

Burke Urban, the visionary developer behind Newbridge, will plant hundreds of leafy street trees around the network of streets, community reserves and interconnected walking trails providing shade and helping to cool and soften the neighbourhood.

Burke Urban are committed to creating a special place for everyone who chooses to live in Newbridge. The aim is to build an aspirational new neighbourhood for Murray Bridge through thoughtful built-form design, landscaping and betterment.

It is worth noting that Burke Urban can only deliver on part of this vision. The rest of the vision must be delivered by the individuals who choose to build and live within the community. The care that every purchaser takes in the design of their new home, front garden and fencing, and then maintaining and nurturing this asset is critical to upholding the real potential of this vision.

We look forward to working with you to make this vision become a reality.



# Design Guidelines

## Design considerations for your new life in Newbridge.

Burke Urban know that you are eager to design a home that suits your dream lifestyle, focusing on important features like your open-plan kitchen and dining area, indoor/outdoor entertaining spaces, ensuite bathroom, guest bedrooms, entertainment rooms, sheds and pergolas. We appreciate how important these features are to the enjoyment of your daily life with family and friends and how exciting this potential can be. We can't wait to see your dreams come to life at Newbridge!

Through this design journey we also wish to encourage you to consider the impact of your design on the streetscape and the overall timelessness and character of Newbridge. From experience we know that it is the streetscape appeal and the overall beauty and presentation of the neighbourhood that has the greatest impact on the potential for a new neighbourhood to become an aspirational community.

Some key considerations in the design of your house that improve streetscape appeal and community well being:

- Design your home to suite the orientation of your allotment and the local climate and environment, to allow for opportunities for natural shading, cooling and ventilation in Summer and maximising the opportunity for natural light in Winter.
- Selection of an external façade character that suits the rural context of the local area and will be timeless and attractive in years to come, including materials, colours and textures that are cohesive and neutral.
- Factoring in front-garden landscaping and fencing early in to your budget and whilst selecting species that are suitable for the local climate.

## Why should I comply with the Newbridge Design Guidelines?

The Design Guidelines have been prepared to help achieve a consistent standard of housing and landscaping at Newbridge, that enhances the local climate and environment.

These Design Guidelines are a tool to try to protect your investment and to create an aspirational neighbourhood within the context of Murray Bridge.

Achieving these outcomes relies on purchaser's cooperation in complying with the Design Guidelines, the design process, the construction of the approved design and then maintenance and care for their investment over time.

The Newbridge Design Guidelines set a minimum home design standard while at the same time provide flexibility for people to customise their design to achieve their dream home.





# Living on the Golf Course

## Design Consideration for Building on Golf Course allotments, 1 to 20

Allotment 1 to 20 of the Newbridge Fairway Release located along the fairways of the Murray Bridge Golf Club are considered premium allotments due to their interface with this magnificent green open space. This interface requires consideration in terms of its fencing, secondary façade character and design requirements, building setbacks and landscaping amongst other considerations.

A separate Golf Course Allotment Interface Design Document is available to customers who are considering building a home and setting up a life on the Golf Course. The requirements of the Golf Course Interface Design Guidelines are either additional to, or override a specific mandatory requirement in the equivalent section of the Newbridge Design Guidelines, therefore should always be read in conjunction with this document.



# I. Design Submission and Approval Process

All dwellings, outbuildings, landscaping, fencing and related structures will require Design Guideline Approval prior to seeking Development Approval from the Rural City of Murray Bridge.

Ensuring that you and your architect or builder understand the project vision and these Design Guidelines will help you to select or design a home that meets the requirements and recommendations of these Guidelines.

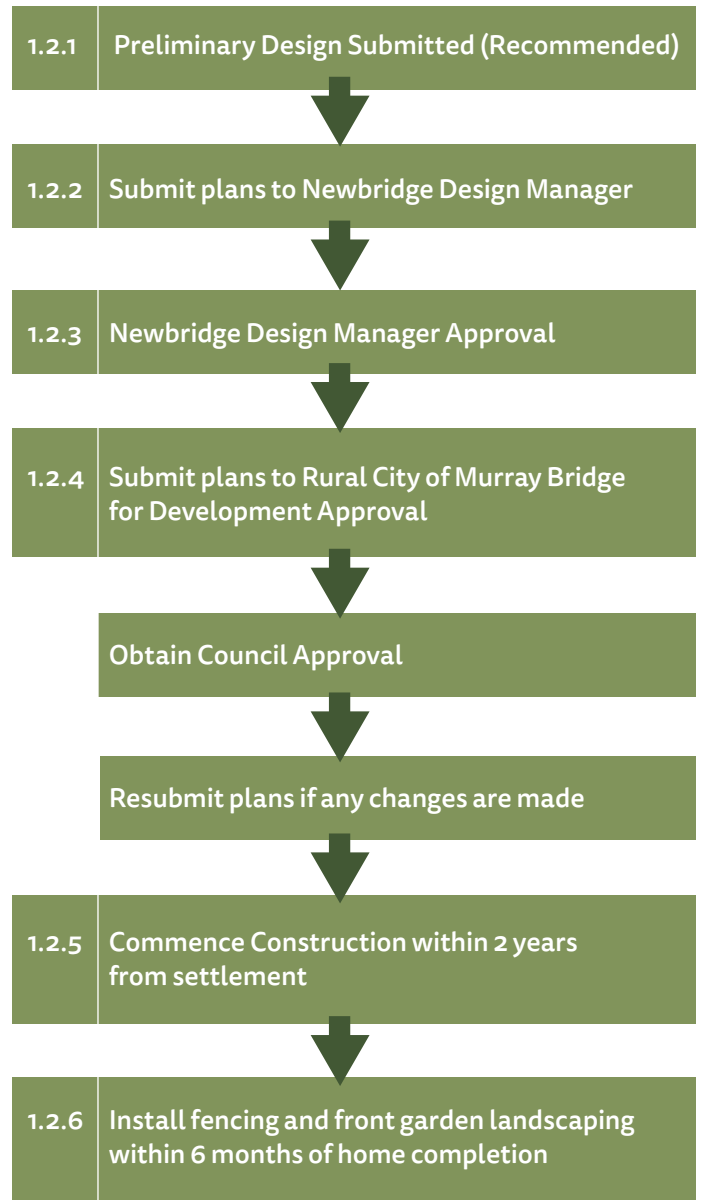
## 1.1 Early Assessment:

It is highly recommended that prospective or new purchasers, or your selected architect or builder seeks feedback on the house design and façade selection prior to submitting the designs for approval, especially if the plans have a unique architectural expression and are likely to require a merit based assessment.

Plans that are submitted and show consideration and compliance with these guidelines will be able to be approved more efficiently.

Where plans do not meet the requirements of the guidelines, the Design Manager will identify these conflicts and request that these are reviewed so that they do achieve compliance. This can take time and will lengthen the time it takes to obtain Newbridge Design approval.

The Design Manager may in its absolute discretion approve plans that do not meet any or all of the requirements of the Design Guidelines, if the design has architectural merit and meets Newbridge's design vision and principles. Conversely, the Design Manager may in its absolute discretion refuse to approve a design, if it is felt that the design contravenes the design vision.



# I. Design Submission and Approval Process

## 1.2 Approval Process

### 1.2.1 Preliminary Design Review

Familiarise yourself with the Newbridge Design Guidelines and discuss your plans with Newbridge's Design Manager and your builder to determine if there are any specific requirements, features and opportunities for your allotment in order to guide you through the approval process.

### 1.2.2 Submission of Plans

Prepare and submit your plans to the Newbridge Design Manager, at [design@newbridgeliving.com.au](mailto:design@newbridgeliving.com.au) for assessment against the Design Guidelines.

Plans submitted must include:

- Site plan(s) showing the location of the dwelling and any other ancillary structures.
- Site cut and fill requirements.
- Building floor plans.
- Elevations.
- Details on external materials and colours of all structures.
- Garage, driveway and crossover locations.
- Landscaping Plan for front yard.
- Fencing details for all boundaries, including an elevation of the front fence.

### 1.2.3 Design Guideline Approval

Once approved the drawings and supporting documents will be stamped and an approval letter and set of stamped plans will be forwarded to the applicant and builder/architect.

### 1.2.4 Council Approval

The stamped plans may then be lodged with The Rural City of Murray Bridge Council for Development Approval.

Upon receiving full Development Approval from Council you are permitted to commence construction on your allotment.

### Prior to Construction commencing on your home

If any changes are made to your house designs after Design Guideline Approval has been granted you must submit updated plans to the Newbridge Design Manager.

### 1.2.5 Commence Construction

Construction of your home must be substantially commenced within 2 years of settlement of your land.

### 1.2.6 Upon completion of your home

On completion of your home you are required to complete the following within 6 months:

1. Construction of your driveway and crossover.
2. Front yard landscaping.
3. Installation of all boundary fencing including the front fence.

**All applications must be lodged by email to:  
Newbridge Design Manager**

Email: [design@newbridgeliving.com.au](mailto:design@newbridgeliving.com.au)  
Subject: Newbridge, lot number and street name.

# 2. Site-Planning

A Building Envelope Plan (BEP) has been prepared for each Stage within Newbridge. House and landscaping designs must comply with the setback requirements on the BEP for your allotment. The minimum setbacks may only be achieved if all other mandatory requirements are met ie. private open space and site coverage.

Typical information provided on the Stage BEP includes:

- Minimum setback from each boundary for a single and double storey home
- Location for the garage or carport, which determines the location for driveways and crossovers
- Location of easements and/or transformers
- Frontage zones and fencing requirements
- Any other unique design consideration specific to individual allotments.

## Newbridge Owner and Builder Portal

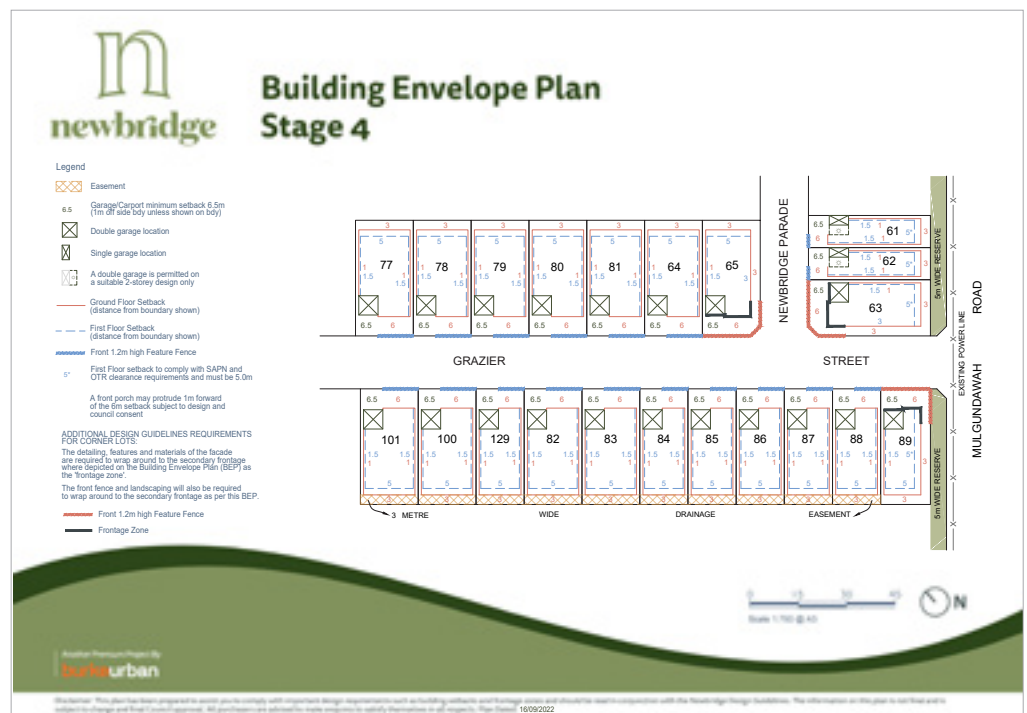
Engineering and other information such as contours, roads, stormwater and services plans in relation to the allotments, will be available once plans have been approved by Council and service authorities.

These “Issued for Construction” plans will be available for you and your Builder or Architect to download from the Newbridge Owner and Builder Portal.

Once you have purchased an allotment at Newbridge, you will be provided with login information for the Portal.

It is important to note that the plans are subject to change and cannot be relied upon as final. Owners and Builders must undertake their own survey to confirm all services and levels once construction is complete.

Figure 1 – Example Building Envelope Plan





# 2. Site-Planning

## 2.1 Building on Boundary and Garage Siting

The preferred garage siting is specified on the BEP.

Building on any boundary is prohibited unless otherwise noted on the BEP.

Alternate garage siting requests will be considered on merit. They must not impact on the visual aspects of the streetscape, street trees, lighting locations or services connections. Where an alternate garage siting requires modification to existing infrastructure, purchasers are responsible for the additional costs.

## 2.2 Site Coverage

In keeping with The Rural City of Murray Bridge Council's Development Plan the total area of a site covered by the ground floor of dwellings, verandas, garages, carports and free standing outbuildings but not unroofed balconies and pergolas, should not exceed 50 per cent. Any variations to this will be assessed and determined by Council.

## 2.3 Private Open Space

Each lot should provide private open space in accordance with the requirements of Council's Development Plan.

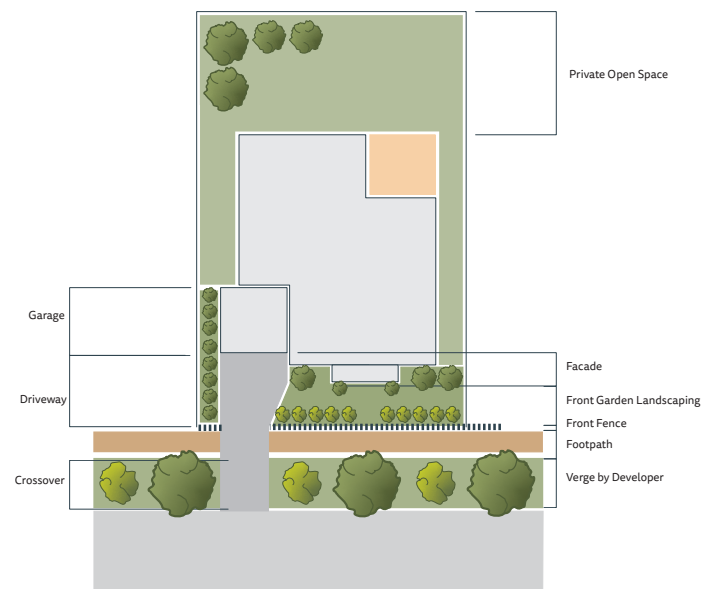
## 2.4 Overlooking

### Requirements

- A minimum of 1.5m high opaque or semi opaque material is to be installed to windows and balconies which directly overlook into adjacent dwellings and their usable private open space, consistent with Council's Development Plan.
- All assessment regarding overlooking matters will be undertaken by Council.

## 2.5 Overshadowing

The design and location of buildings should ensure that direct winter sunlight is available to adjacent dwellings. All assessment regarding overshadowing matters will be undertaken by Council. Please refer to Council's Development Plan for details on this requirement.





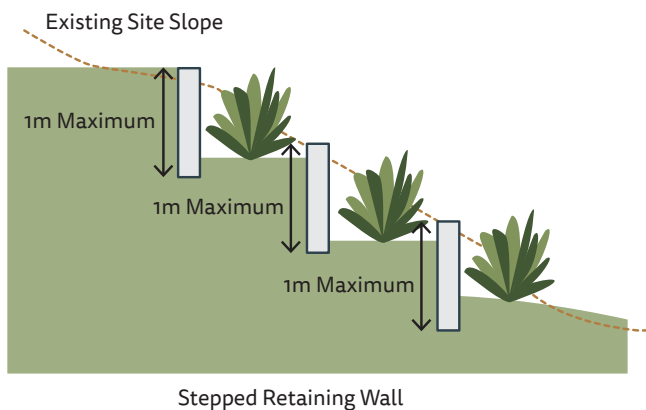
# 2. Site-Planning

## 2.6 Retaining Walls

Most allotments in Newbridge require little or no retaining, however, Newbridge realises the difficulty in retaining between properties with slope and we would like to work with you to achieve the best possible outcome for you and your neighbour and the project.

### Requirements

- Retaining walls should not be constructed on top of or next to another retaining wall if viewable from the street.
- Maximum height of 1m for all retaining walls viewable from the street.
- If retaining of greater than 1m is required, it must be tiered and landscaped to improve visual quality.



- Retaining walls on boundaries between your land and a reserve or roadway can include a fence above the retaining wall. This must be to a maximum height of 2.8 metres (1.8m high fence + 1m retaining wall).
- Retaining walls visible from the street must be constructed from the list of acceptable retaining wall materials.
- Retaining walls must not be built over service pits.

### Acceptable materials for retaining walls visible from streetscape



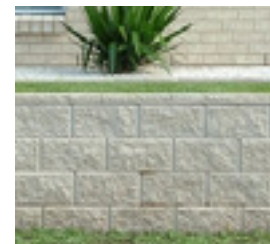
Natural Stone



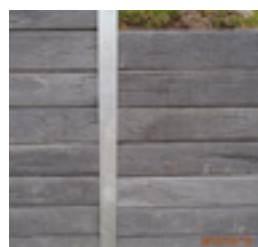
Quarry Rock



Moss Rock



Block Wall



Charcoal Coloured Concrete Sleepers



Rendered Masonry

# 3. Street Appeal

Street appeal is the visual attractiveness of your home as seen from the street. Street appeal is important as it helps build the character of the street and the general value and potential for capital growth of your individual home and the development.

Street appeal takes into consideration all the design elements that are viewed from the street including the verge, front boundary treatment, landscaping and house design including house articulation, colours, materials, windows and door openings.

## 3.1 Verge

The front verge (nature strip) is the section of garden bed between the footpath and the kerb. The verge is the entrance to your home and contributes to the individual character of your home.

- The front verge plantings will be installed by Newbridge upon completion of homes.
- The ongoing maintenance of the verge will be the responsibility of the owner and/or occupier.
- Newbridge encourages residents to take pride in their verge to enhance the overall appearance of the community.



# 3. Street Appeal

## 3.2 Front Fence and Gate

To add further street appeal, all homes at Newbridge require a low fence along the front property boundary. Front fences provide a unique character for an individual home and delineate public space on the footpath/verge from the private front garden open space. The front fence also helps to provide usable open space at the front of the home.

### Requirements

- Front fences are required and must complement the architectural style of the façade of your home.
- Front fences are to be stained or painted to match the colour palette of the facade and must be a minimum of 1m high and a maximum of 1.2m in height.
- On corner allotments the front fence is required to continue along the secondary frontage for a minimum 30% of the lot depth.
- Retaining walls are not considered front fencing.
- Variations to the fence options will be considered on merit.
- If constructing a gate in the fence, it must match or complement the adjacent fence.
- A gate is required on any secondary driveway crossovers for recreational or commercial vehicle access. See Section 3.9 for detail on Driveways and Crossovers.
- Must have landscaping behind the front fence. See Section 3.3 – Front Garden Landscaping.





# 3. Street Appeal

## Recommendations

- Gates to the primary driveway are permitted but not required.
- Gates within the fence are permitted but not required. If constructing a gate, it must match or complement the adjacent fence.



# 3. Street Appeal

## 3.3 Front Garden Landscaping

Landscaping is an important focus for Burke Urban. Beautification of the environment through landscaping is a key to success for Newbridge. The vision for Newbridge aims to create a green heart for Murray Bridge with leafy street trees, green open spaces, and vibrant front gardens. Burke Urban can deliver on this vision with new street tree planting as well as suitable landscaping of reserves and verges. Individual homeowners also play a critical role in realising this vision through the establishment and maintenance of private gardens, particularly in the front of their homes. Commitment to this outcome from all purchasers will contribute to achieving the vision and creating long-term uplift in value of the project. For these reasons it is strongly encouraged that front gardens and front fences are given due consideration during the planning phase of your dwelling. Front gardens and fences should be budgeted for so that they are able to be constructed within 6 months from the completion date of the build of the dwelling.



### Requirements

- A minimum of 1 small tree must be provided at the front of the property. Trees species are to be appropriately selected for the space available and local climate.
- Car parking must only be provided in driveways and undercover carport / garage.
- Garden beds must be provided to a minimum of 25% of the total area of front yard (excluding driveway). Planting is to be installed at a minimum density of 1 plant per square metre. Species are to be appropriately selected for the local climate and siting.
- Solid (non-permeable) surfaces must not cover more than 50% of the front yard's total area (including driveway).
- Scoria and artificial lawn are not permitted within front gardens.
- It is a requirement that resident's plant a green screen of foliage directly behind front fencing and in front of the section of fence that runs forward of the front alignment of the dwelling to the front boundary of the property. As species grow they should not exceed the height of the front fence.
- It is a requirement that resident's of Newbridge complete their front landscaping and front fencing in accordance with their approved plans, within 6 months from completion of the dwelling.

**Refer Annexure A for recommended plant species.**



# 3. Street Appeal

## Recommendations

- Select lawn that is appropriate for the site conditions and local climate.
- Select trees and climbing plants that provide shade to windows during summer and allow sunlight in during winter.
- Consider incorporating feature screens or water features to add interest.
- Gardens should be designed to be water efficient, including selection of water-wise species, use of mulch and installation of sub-surface drip irrigation.
- All tree and plant species selections should reflect the Newbridge vision and be suitable for the site conditions. A recommended species list is included in Annexure A.

**Refer Annexure A for recommended plant species.**

## Submission requirements

A landscape plan must be submitted with the Building Application. Whilst it is highly recommended that residents spend some time focusing on their front landscaping and consider unique and interesting designs for this space, a pre-designed, minimum requirement, front garden concept plan has been included for your reference and benefit in **Annexure B**. This concept plan is the bare minimum requirement that is expected at Newbridge. If a client chooses to submit this landscaping plan with their building plans, they will not be expected to submit an alternative plan. This base plan is available for different block widths and may be requested from the Newbridge Sales Representative. This plan should be read in conjunction with **Annexure A – Recommended Plant Species**.

If the minimum landscaping plan is submitted, it is expected that residents will then embellish their front gardens during the planting phase to help to establish Newbridge's vision of a 'new green heart' for Murray Bridge. The Design Manager will enforce minimum front garden landscaping requirements in accordance with the requirements of these Guidelines.

If unique plans are submitted they should be a minimum 1:100 scale at A3 and include the following:

- Fencing locations, heights, and materials.
- Tree/s location and species selections.
- Planting locations, densities, and species selections.
- Turf locations and species (if applicable).
- Paving and surfaces, including driveways, and pathways materials.
- Extent and type of irrigation.

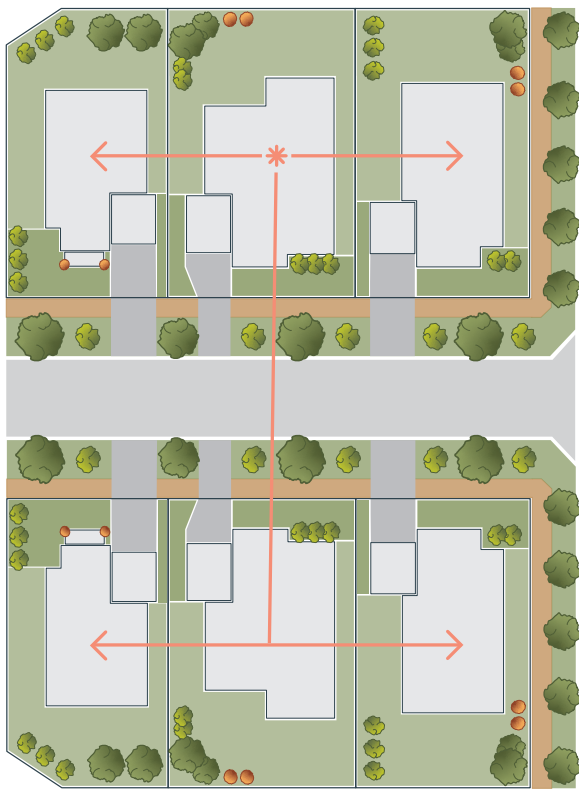


# 3. Street Appeal

## 3.4 Façade

Newbridge encourages residents to design and select façades, along with materials and colours that suit the rural character and climate of the Murraylands region.

Newbridge also encourages variety in the streetscape so that houses look different and have their own appeal and character. Choosing different colours and materials, roof forms, verandah styles and window shapes so that your home is different from your neighbours is important. The Newbridge Design Manager can assist you by reviewing your plans early on to make recommendations that ensure your home has its own diverse appeal.



Neighbourhood cluster

## Requirements

- All front facade setbacks are determined by the BEP provided for each Stage.
- All homes must provide a well-articulated entry statement which clearly identifies the front entrance to the house, although tacked-on porticos are discouraged.
- A porch or verandah can protrude forward of the front setback requirement by 1.0m, subject to council consent.
- The porch is required to be open in its design and contribute to the overall street appeal of the dwelling.
- Construction of the facade must allow for a combination of building finishes, textures and materials, as well as varying setbacks to the front facade (horizontal and vertical).
- No more than 20% of the primary or secondary facade will be permitted to be a single blank wall.
- All frontages visible from a public place must incorporate feature windows and door openings which are matched to the character of the home.
- Standard profile sliding windows are not permitted on frontages.
- No two houses that are the same shall be within a neighbourhood cluster, where a cluster is delineated by the diagram shown. The Newbridge Design Manager shall have absolute discretion to determine if two homes are the same and this assessment will be based on roof form, colours, materials, veranda and portico styles and other architectural features. It is therefore recommended that you or your builder makes early contact with the Design Manager to seek preliminary feedback on the home style that has been selected.

# 3. Street Appeal

## Recommendations

- We encourage light-weight materials on the front façade.
  - Tacked on front porticos are discouraged.
  - The front of your home should be enhanced through architectural detailing and interest, where practicable.
  - Front façade features outlined below will be approved upon their design merit.
- Examples of suitable architectural design elements are as follows and an example of each is included in Annexure E:
    - Gable
    - Dutch gable
    - Feature windows
    - Bay or box windows
    - Fixed window shades
    - Feature window frames of timber or semi-commercial aluminium profiles
    - Front porch
    - Raised portico
    - Verandah
    - Blade wall
    - Feature quality materials ie stonework, timber.





# 3. Street Appeal

## 3.5 Roof Pitch and Form

### Requirements

- Hip and gable roofs are required to have a minimum pitch of 22.5 degrees.
- A roof must have a minimum eave overhang of 450mm on a single storey home, unless otherwise approved upon merit.
- Acceptable roof materials are zinc, pre-finished corrugated metal sheets with coloured metal or flat profile concrete roof tiles.
- Unpainted galvanised iron, highly reflective colours or finishes and white roofs or similar are not acceptable.
- Max building height is 8m from natural ground level.

### Recommendations

- Alternative roof forms including skillion roofs, flat roofs and contemporary roofs are encouraged but shall only be approved upon merit.
- Roofs which incorporate parapets walls are generally discouraged.



# 3. Street Appeal

## 3.6 External Materials and Finishes

### Requirements

- Homes are to reflect a well-balanced material palette particularly where viewable from the public realm and golf course.
- Building materials must be selected to complement the architectural style of your house.
- Facades must not be constructed entirely of face brick without any contrasting features.

### Recommendations

- Facades that include light-weight cladding are strongly encouraged.

- Natural materials and colour palettes are highly recommended.
- Preferred building materials are as follows:
  - Painted Render
  - Face brick
  - Weatherboard (fibre cement sheet planking)
  - Stonework – Fieldstone or larger profile stone tiles are encouraged. Ledge stone and stackstone profiles are discouraged.
  - Feature Tiles with a colour and finish to suit the design vision.
  - Timber or timber look products





# 3. Street Appeal

## 3.7 Ceiling Heights

### Requirements

- The minimum floor to ceiling height for single storey homes is required to be 2.7m.
- The second storey of a double storey home requires a minimum 2.4m ceiling height.

## 3.8 Garage/Carport

### Requirements

- The garage location will be specified on the BEP provided for each Stage.
- Alternate garage siting requests will be considered on merit. They must not impact on the visual aspects of the streetscape, street trees, lighting locations and services connections. Where an alternate garage siting requires modification to existing infrastructure purchasers are responsible for the additional costs.
- Council requires that each home incorporates 2 on-site car parking spaces (one of which should be covered).
- Garages/Carports must have a 0.5m minimum setback from the front facade of your home.
- Garages and carports facing the street should be designed with a maximum width of 6 metres or 50 percent of the allotment or building site frontage, whichever is the lesser distance.
- Garages/carports must be integrated and reflect the architectural design elements, materials and colours of the main dwelling.
- Carport structures must be designed with a suitable level of bulk and scale to ensure they are conducive to a front elevation.

- All garages and carports visible from public areas must incorporate either a panel lift or tilt-up door.
- Flat roofed carports will not be supported unless they are in keeping with the overall architectural character of the dwelling.
- Where more than two garages or carports are provided and supported by the Council the third carport or garage must be staggered in design and setback a further 1.0m from the predominant garage or carport. The suitability of a third garage or carport will be considered carefully on design merit.
- Garages and carports may be built on the boundary on allotments with less than a 15m frontage and must be approved on merit. If a garage on boundary is permitted it will be indicated on the BEP.

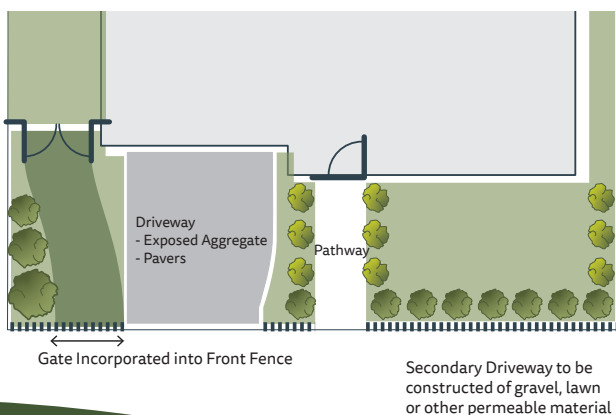


# 3. Street Appeal

## 3.9 Driveways and Crossovers

### Requirements

- Driveways must be no wider than 6 metres for a double garage with a maximum width of 5 metres at the property boundary.
- Driveways must be no wider than 5 metres for a single garage with a maximum width of 4 metres at the property boundary.
- Driveways must be constructed of plain concrete, exposed aggregate, pavers, charcoal coloured concrete, or other materials as approved by the Design Manager.
- Driveway crossovers (between the front boundary and kerb) must be constructed to match the driveway.
- Vehicular access from the front to the rear of the lot may be provided by either a drive-thru garage/carport or a secondary driveway. A secondary driveway will need to be carefully designed to ensure the front yard is not dominated by hard surfaces.
- A secondary driveway will be required to be a different surface from the driveway crossover and may be grass or gravel and will require a gate at the fence line where the second driveway crossover intersects the boundary



### Recommendations

- Driveways for corner allotments may be off the primary and/or secondary frontage unless services are prohibitive.
- It is recommended that 1m of landscaping is allowed between the driveway crossover and the boundary to create a buffer between properties. A minimum 400mm of landscaping is required.



# 3. Street Appeal

## 3.10 Commercial and recreational vehicle storage

It is understood that boat and caravan ownership is highly desirable in Murray Bridge which is graced with the River Murray and a Mediterranean climate. We support active lifestyles but require the storage of recreational vehicles and commercial vehicles to be carefully considered.

### Recommendations

- To create a more appealing streetscape the storage of boats, caravans, trailers or commercial vehicles should be located in driveways, carports, garages, sheds or rear yards.
- Where recreational or commercial vehicle requires on-site storage, the lot layout should provide a drive-through carport, garage or a second driveway to accommodate this (See Section 3.9).

## 3.11 Corner Lots

### Requirements

- Corner allotments must address both the primary and secondary frontage and provide articulation which complements the primary frontage.
- Corner reserve allotments will also be treated as corners.
- The frontage zone for corner lots is articulated on the BEP provided for each stage.
- The material used on the front elevation is required to return along the secondary street frontage for 30% of the lot depth. Alternatively, a suitable point of articulation may be provided to allow a change in materials within the frontage zone.
- Meter boxes are not permitted on the primary or secondary frontage unless approved in writing.
- Lot 1 and 126 have unique design requirements for the secondary street/reserve frontage and purchasers of these allotments must work collaboratively with the Newbridge Design Manager to fulfil the design vision of the secondary frontage.

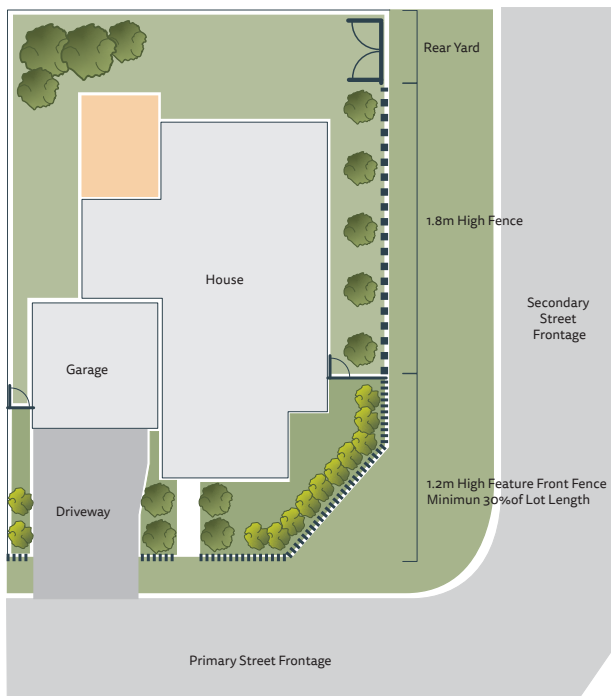


# 4. Fencing

## 4.1 Side and rear boundary fencing

### Requirements

- Side or rear boundary fences behind the building line must be constructed at a maximum height of 1.8m high above ground level.
- A side fence or gate which is in line with the front of your house is permitted to be 1.8m high to allow privacy to the side and rear yard.
- The colour for side and rear boundary fencing must be Colorbond® Woodland Grey® with a Good Neighbour® profile.



## 4.2 Corner allotment fencing

### Requirements

- A front boundary fence on a corner allotment must return along the secondary street boundary to a minimum of 30% of the lot depth, be built to a height of 0.9 - 1.2m and must match the front boundary fence treatment.
- The remainder of the secondary street boundary fence is to be Colorbond® Woodland Grey® with a Good Neighbour® profile and be a maximum of 1.8m in height.
- All assessment regarding private open space will be assessed by Council.

## 4.3 Front fencing

Refer to Section 3.2 for a description of the Front Boundary Treatment or Front Fence Guidelines. Front fencing is included in Street Appeal as it is considered a major feature to enhance the front façade and street appeal of your home.





# 5. Sheds and Outbuildings

Sheds and other outbuildings are encouraged for the convenient and secure storage of vehicles, boats, caravans etc provided they are in keeping in line with the character of the main dwelling and surrounding development.

Sheds, garages and similar outbuildings are required to meet the following requirements

## Requirements

- Maximum total floor area of 40 square metres for sites less than 450 square metres.
- Maximum total floor area of 60 square metres for sites between 450 square metres and 1000 square metres.
- Maximum total floor area of 90 square metres for sites greater than 1000 square metres.
- Maximum building height (from natural ground level) of 4m.
- Maximum wall height (from natural ground level) of 3m.
- Minimum setback from side and rear boundary 0.6m.





# 6. Services

## 6.1 Air Conditioners and Evaporative Coolers

### Requirements

- Must be installed so that they are not viewable from the street.
- If installed on the roof, units must be below the ridge line, located on the rear section of roof and of a similar colour to the roof.

## 6.2 Rain Water Tanks

### Requirements

- A rainwater tank or tanks are to be installed in accordance with the Building Code of Australia requirements (i.e. minimum 1,000 litre capacity). Other policies requiring more storage may be required depending on the planning policy in effect at the time. For more information please contact the Rural City of Murray Bridge Planning Department on (08) 8539 1100 or [council@murraybridge.sa.gov.au](mailto:council@murraybridge.sa.gov.au)

## 6.3 TV Antenna and Satellite Dish

### Requirements

- The installation of tv antennae and satellite dishes are to be located and designed to minimise the impact on street amenity.
- TV antennas are to be generally hidden from view, within the roof space, or to the rear of the roof, wherever reception permits.

## 6.4 Solar Panels

### Requirements

- The installation of solar panels are to be located and designed to minimise the impact on street amenity.
- Solar collectors should not be visible from public spaces unless there is no other location which affords suitable solar exposure. In these circumstances, they should be installed on the plane of the roof, and panels kept to a minimum.

## 6.5 Rubbish Bins

### Requirements

- Rubbish bins must not be visible from public areas except on rubbish collection days. Consideration should be made for locating them in an acceptable/ screened area.

## 6.6 Clotheslines

### Requirements

- Clotheslines must not be visible from public areas.

## 6.7 Services for Natural Gas

### Requirements

- The Developer has made natural gas available for connection to each allotment, and promote the connection of each allotment to natural gas as the preferred energy source for cooking, heating and hot water.

# 7. Construction Obligations

## 7.1 Development Requirements

### Requirements

- The land shall not be used other than for the construction of a private residential dwelling unless otherwise approved by Council.
- Transportable dwellings are not allowed to be constructed at Newbridge.
- Outbuildings including sheds, shipping containers and other temporary dwellings or storage units are not allowed to be constructed or positioned on the land prior to the construction of the residential dwelling.
- Further subdivision of the land is not allowed without prior written approval from Burke Urban Developments.

## 7.2 Construction Timeframes

### Requirements

- Construction of the dwelling is to be commenced within 24 months from settlement of your allotment.
- Front fencing and landscaping is to be completed within 6 months of completion of construction of your dwelling.

## 7.3 Construction Management

### Requirements

- It is the responsibility of the owner and builder of an allotment to keep the site and neighbouring properties tidy during construction.
- All construction materials and waste must be managed and stored on the subject land and must not be stored, stockpiled or dumped on any other land within the development site.
- All light construction waste and materials, such as plastic, wrapping, polystyrene, cardboard etc, must be secured to avoid it blowing around the site or the development, and creating an untidy or unsafe environment.
- All street trees, verges, footpaths, kerbs and neighbouring property must be kept tidy and protected from damage during the construction process.





# Annexure A

## Recommended Plant List

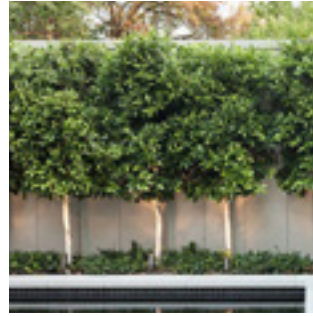
### Trees - Evergreen



*Cupaniopsis anacardioides*,  
Tuckeroo



*Ceratonia siliqua*,  
Carob Tree



*Ficus microcarpa hillii*,  
Hills Fig



*Laurus nobilise*, Bay Tree



*Olea europaea*  
'Tolley's Upright', Olive



Eureka Lemon



Kaffir Lime



Tahitian Lime

*Disclaimer: The recommended plant species included are to be used as a guide only. Each species will require different amounts of sun, shade and water and therefore you should undertake your own due-diligence and/or seek professional advice to ascertain which plants are best for your specific allotment.*



Navel Orange



# Annexure A

## Recommended Plant List

### Trees - Deciduous



*Acer campestre* 'Elsrijk',  
Field Maple



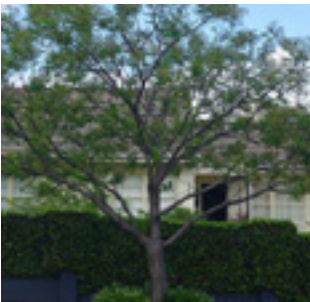
*Plumeria obtusa*,  
Frangipani



*Gleditsia triacanthos*  
'Shademaster',



*Lagerstroemia* 'Natchez',  
Crepe Myrtle



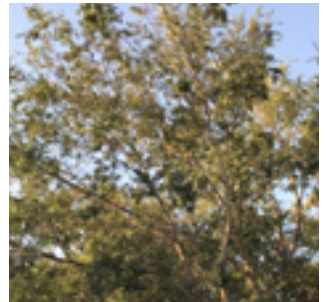
*Melia azedarach* 'Elite',  
White Cedar



*Pistacia chinensis*,  
Pistachio



*Pyrus species*,  
Ornamental Pear



*Ulmus parvifolia*,  
Chinese Elm

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# Annexure A

## Recommended Plant List

### Hedges



*Escallonia* species (various cultivars)



*Murray Paniculata*,  
Orange Jasmine



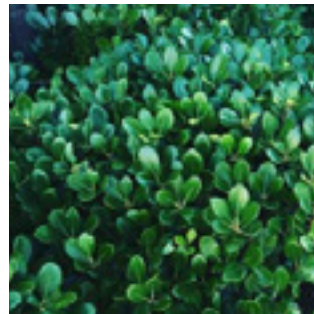
*Viburnum tinus* or  
*suspensum*



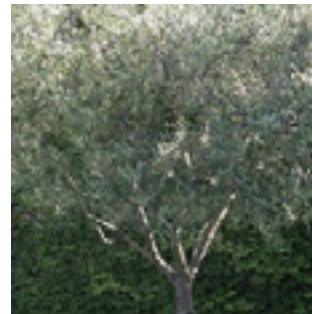
*Syzygium* (Various cultivars)



*Westringia* 'Grey Box' or  
'Naringa'



*Raphiolepis* 'Oriental Pearl'



*Olea europaea* 'Tolly's  
Upright'



*Laurus nobilise*, Bay Tree

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# Annexure A

## Recommended Plant List

### Groundcovers and Shrubs



Banksia (Various cultivars)



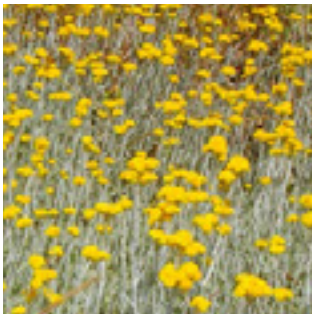
Agave (Various cultivars)



Aloe (Various cultivars)



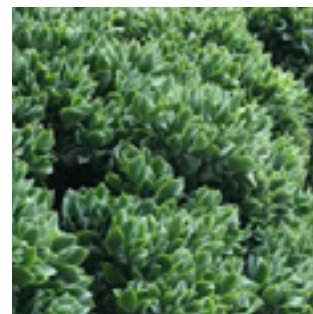
Anigozanthos (Various cultivars), Kangaroo Paw



Chrysocephalum apiculatum, Common Daisy



Cotyledon (Various cultivars)

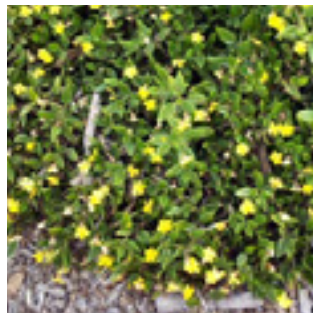


Crassula (Various cultivars)

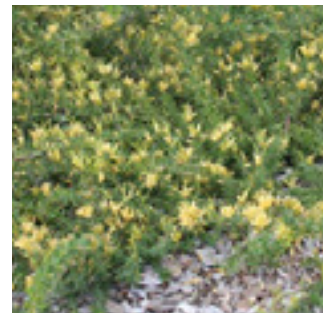


Eremophila (Various cultivars)

*Disclaimer: The recommended plant species included are to be used as a guide only. Each species will require different amounts of sun, shade and water and therefore you should undertake your own due-diligence and/or seek professional advice to ascertain which plants are best for your specific allotment.*



Goodenia ovata 'Gold Cover'



Grevillea (Various cultivars)

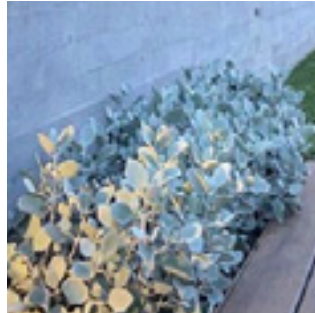
# Annexure A

## Recommended Plant List

### Groundcovers and Shrubs



*Gaura lindheimeri*, White Gaura



*Kalanchoe* (Various cultivars)



*Lomandra* (Various cultivars)



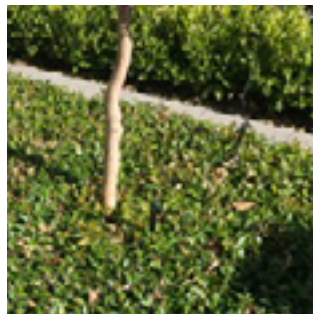
*Myoporum parvifolium*



*Rosmarinus officinalis prostratus*



*Senecio serpens* 'Blue Chalksticks'



*Trachelospermum* 'Flat Mat'



*Westringia* (Various cultivars)

*Disclaimer: The recommended plant species included are to be used as a guide only. Each species will require different amounts of sun, shade and water and therefore you should undertake your own due-diligence and/or seek professional advice to ascertain which plants are best for your specific allotment.*



# Annexure A

## Recommended Plant List

### Climbing



*Hibbertia Scandens*,  
Snake Vine

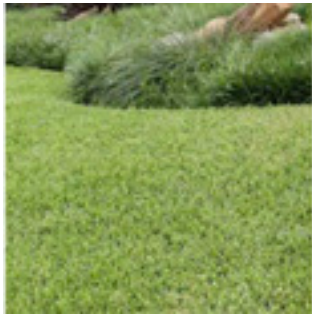


*Pyrostegia venusta*,  
Orange Trumpet

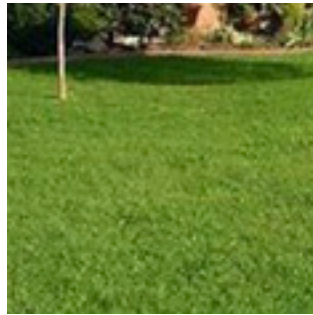


*Trachelospermum  
Jasminoides*, Star Jasmine

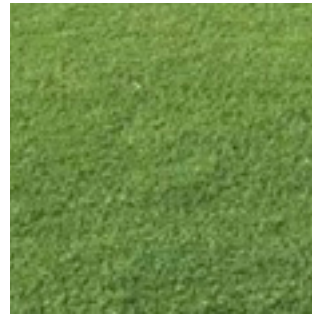
### Turf



Buffalo Grass



Kikuyu 'Sterile'



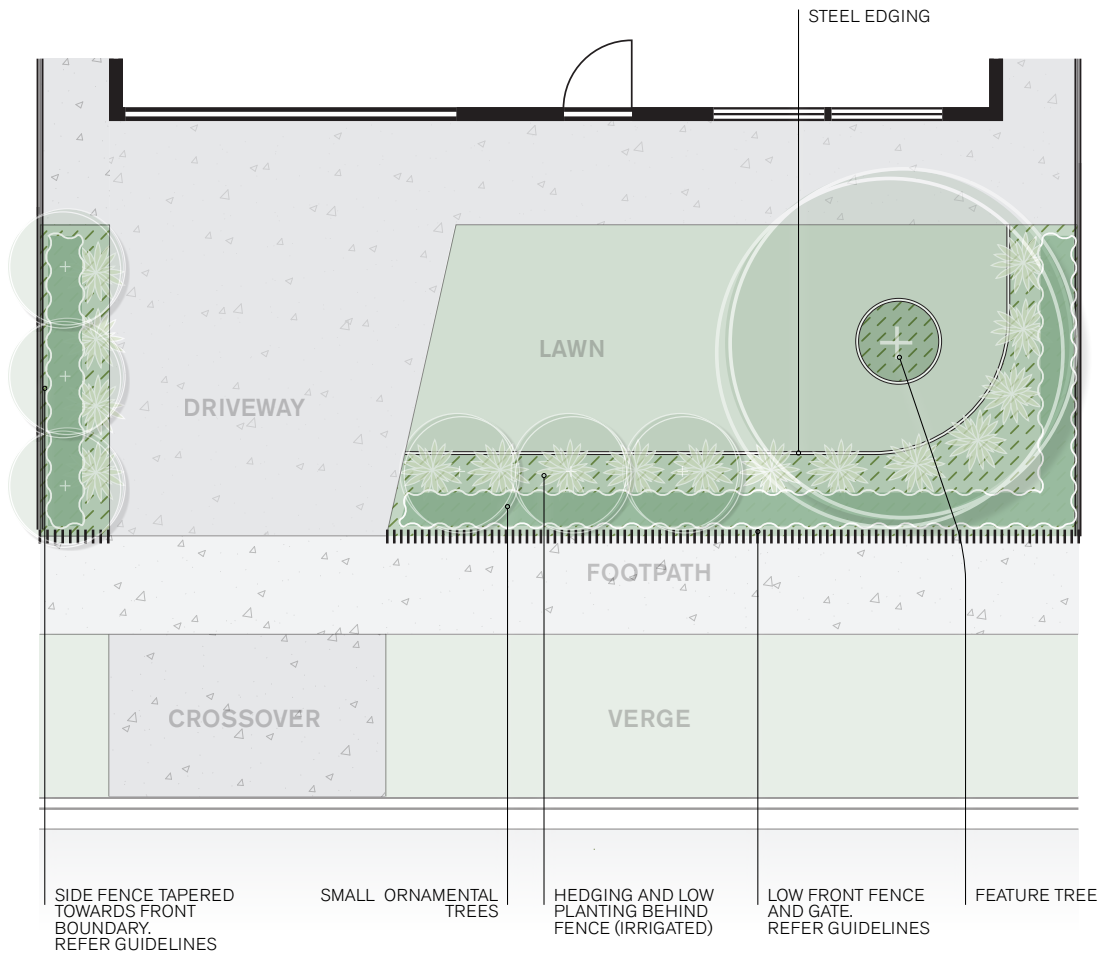
Tif Tuf Hybrid Bermuda

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# Annexure B

## 15m Frontage

This concept plan for front garden landscaping has been drafted as a base plan that shows the bare minimum requirement you are able to submit to obtain approval. You are encouraged to submit a more detailed design that complements your house design, however this plan shows the minimum requirement. All plans should be submitted inclusive of your plant species, fencing, paving and other landscaping options.



### Key

- Front Boundary Fence
- Side Boundary Fence
- Garden Edging
- Building Line

- Lawn (Irrigated)
- Mulched Garden (Irrigated)
- Driveway / Paving
- Hedge Planting

- Low Planting
- Small Ornamental Tree
- Feature Tree

Scale 1 : 100 @ A4



# Contacts

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**Email:** [design@newbridgeliving.com.au](mailto:design@newbridgeliving.com.au)

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Murray Bridge SA 5253

**Phone:** (08) 8539 1100

**Email:** [council@murraybridge.sa.gov.au](mailto:council@murraybridge.sa.gov.au)

**Website:** [murraybridge.sa.gov.au](http://murraybridge.sa.gov.au)



Whilst all care has been taken for errors and omissions, details may be subject to change without notice. This document is known as Newbridge Design Guidelines Version Number 3, dated 16 September 2022