

Golf Course Interface Design Guidelines



Version Number 1, 1 October 2020

Design Vision

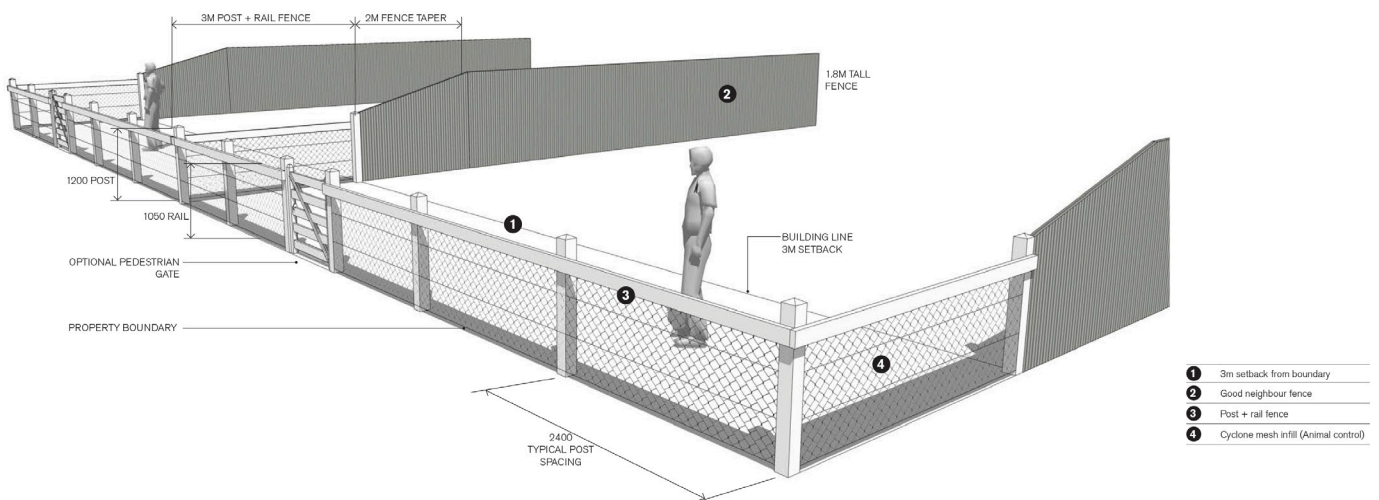
Lots 1 to 20 are located on Newbridge's most premium land with spectacular views over the open green space of the Murray Bridge Golf Club fairways. To capture this opportunity the following specific guidelines have been prepared to address the interface between the home and the golf course fairways.

Homes in this location are envisioned to have both street and fairway frontages of equal design quality and detailing. Homes overlooking the fairway are encouraged to have sweeping alfresco entertaining areas and feature windows and doors to achieve a balance between functionality, style and the opportunity to maximise views out over the green oasis of the golf course fairways.

These Golf Course Interface Design Guidelines are either additional or override a specific mandatory requirement in the equivalent section of the Newbridge Design Guidelines, therefore these should be read in conjunction with the Newbridge Design Guidelines.

Dwelling Requirements

- Each dwelling constructed on a golf course allotment is required to have a street frontage and fairway frontage of equal design quality and detailing.
- Fairway frontages shall be provided with articulation to both the walls and roofline, feature windows and door frames.
- Materials and finishes on the fairway frontage are to be as per the street frontage and well considered in their placement.
- Services such as clotheslines, rainwater tanks, air-conditioning units, pool pumps etc need to be located along the side setback of the dwelling or suitably screened so as not to be visible from the street or the fairways.
- 'Kit-form' style flat roof verandas are not permitted. Covered entertaining areas facing the fairway are required to be designed under the main roof of the dwelling to ensure an integrated and quality outcome.



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Additional two storey dwelling requirements:

- Balustrades to balconies are required to complement the style and colours of the home. Standard black vertical tubular balustrading should be avoided unless it can be demonstrated it ties in with the overall aesthetic of the home.
- All overlooking matters will be assessed by Council.

Land Management Agreement:

All allotments that interface with the Golf Course have a Land Management Agreement (LMA) registered on the Certificate of Title that stipulates building setbacks, fencing type and other important design requirements at the interface.

A copy of the LMA can be obtained from the Newbridge Sales Team. Purchasers are encouraged to familiarise themselves with the requirements of the LMA.



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Whilst all care has been taken for errors and omissions, details may be subject to change without notice. This document is known as Newbridge Golf Course Interface Design Guidelines Version Number 1, dated 1 October 2020.